

Truth in Sale of Housing Disclosure Report

NOTICE - Read Entire Report Carefully. This is not a rental license inspection or a buyer's inspection!

Address: 1529 BROOK AVE SE Minneapolis, MN



Current Owner Name: Cym Warkov

Contact: Cym Warkov

Owner Address: 1901 Talmage Ave SE
Mpls, MN 55414

Business/Relationship:

Phone Number: 818-802-4955

***** SEE ATTACHED PAGES FOR IMPORTANT CONSUMER INFORMATION *****

THERE ARE REQUIRED REPAIR/REPLACE ITEMS NOTED IN THIS REPORT.

Observed Number of Units: 1

City Reference as: 1

Building Type: Single Family Home

Zoning: R2B

To verify this structure complies with the current Zoning ordinance, please contact Zoning Administration via 311.

Housing Orders: Yes

Condemnation Status: NA

Reason: NA

1. This report offers a limited overview of the building components and fixtures and is not technically extensive. Prospective buyers may want to seek additional opinions from various experts in the inspections field prior to purchase. This report is not a warranty or guarantee, expressed or implied, by the City of Minneapolis or by the evaluator or of any building component or fixture. Further, the buyer may want to seek additional information regarding any open permits. For 1st time condominium units, this report includes only those items located within the residential units. The Professional Opinion covers those items in the common areas of the building.
2. The buyer must repair all items marked Repair/Replace, unless the seller agrees to do the repairs. The seller is not required to complete the RR's if the property does not sell. All required R.R.'s items are enforceable by Minneapolis Ordinance Chapter 248 and/or 250. All other items will not be used by the Inspections Division as a basis for enforcing Minneapolis ordinances.
3. The ordinance requires that no person shall exhibit or show a dwelling for sale without first having obtained an official Evaluation Report and places the responsibility on the seller or agent to make sure that this report (and in the case of 1st time condo conversions, the Professional Opinion,) is publicly displayed on the premises at all times when the house is shown to prospective buyers. The seller or agent must give a copy of this report (and Professional Opinion for 1st time condo conversions) to the buyer prior to the signing of a Purchase Agreement, or as otherwise required in Minneapolis Ordinance Chapter 248 and/or 250.
4. This report covers only those items listed on the form. The evaluator is not required to ignite the heating plant, use a ladder to observe the condition of the roofing, evaluate inaccessible or concealed areas or disassemble items. This report does not address formaldehyde, lead paint, any airborne gasses (including radon), asbestos, wood stoves, fireplaces or air conditioners. Gas inserts in fireplaces WILL be evaluated.
5. This report is not an FHA, VA or Section 8 inspection. This report is not a code compliance inspection. It is not an appraisal. This report may be based upon different standards than the lender, FHA or VA. This is not a rental inspection. If planning to rent, additional requirements may apply and a license will be required.
6. The seller is required to provide the disclosure information in the box above. If this is not filled out, buyers are advised to request the seller to do so.
7. This report is valid for two years from the date of issue or one sale and only for the owner named on the report. It is required for all single-family homes, duplexes, townhouses or 1st time condominium conversions offered for sale.
8. **Any questions** regarding this report should be directed to the evaluator whose name and phone number appear below. **Any complaints** regarding this report should be directed to Truth in Housing at (612) 673-5840, Construction Code Services, 250 South 4th Street #300, Minneapolis, MN 55415.

I hereby certify that this report is made in compliance with the Minneapolis Code of Ordinances, Chapter 248, and that I utilized care and diligence reasonable and ordinary for one meeting the Certification Standards. The report covers only those problems listed and reasonably visible at the time of my evaluation and does not warrant future useful life of any house component or fixture. I have included all required information pages with this report.

Evaluator Name: Tim Igoe

Phone: 612-229-3521

Evaluation Date: 2/1/2023

Signature: *Tim Igoe*

Evaluation #: 20230256

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EVALUATION CODES:

M :=Meets Minimum Requirements **C** :=Comments **NA** :=Not Applicable/Does Not Apply **B** :=Below Minimum Requirements **SC** :=Suggested Correction
RRE :=Repair/Replace, Evaluator Verification Required **RRP** :=Repair/Replace, Permit/City Inspector Required **LIC** :=Safety Check, Licensed Contractor Required

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Basement

1. Basement Stairs/Railings
 - B, Missing guardrail on open side of stairs.
 - B, Handrail height not 30"- 34" or 34"-38" with ends returned. - Railing lacks returned ends
2. Basement Floors
 - M, Meets Minimum Requirements
3. Foundation Walls
 - M, Meets Minimum Requirements
4. Evidence of Dampness or Staining
 - C, Evidence of past dampness and/or staining. - Some peeling paint in Utility Room
5. First Floor, Floor System
 - M, Meets Minimum Requirements
6. Columns & Beams
 - M, Meets Minimum Requirements
7. Basement Sleeping Rooms
 - C, Yes, there are basement bedrooms. See Bedroom Section for details.
8. Basement Plumbing Fixtures
 - M, Meets Minimum Requirements
9. Sump Pumps
 - C, No sump pump present.
10. Smoke Detectors / CO Detectors
 - RRE, Missing CO Detector - Missing CO detector within 10 ft. of Bsmt BR
 - RRE, Repair/Replace: - Missing smoke detector outside Bsmt BR
11. Basement Electrical Outlets/Fixtures
 - M, Meets Minimum Requirements

Electric

Amps: 100

Volts: 120/240

12. Electrical service installation
 - M, Meets Minimum Requirements
13. Separate 20-amp Kitchen Circuit indexed at Service Panel
 - M, Meets Minimum Requirements
14. Separate 20-amp Laundry Circuit indexed at Service Panel
 - M, Meets Minimum Requirements

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Plumbing

- 15. Floor Drains
M, Meets Minimum Requirements
- 16. Drain, Waste & Vent Piping
M, Meets Minimum Requirements
- 17. Water Supply Piping
M, Meets Minimum Requirements
- 18. Gas Piping
M, Meets Minimum Requirements
- 19. Copper Water Line Visible on the Street Side of Water Meter
M, Meets Minimum Requirements

Water heater (40 Gal.-Nat. Gas-2022)

- 20. Water Heater & Installation
M, Meets Minimum Requirements
- 21. Water Heater Venting
M, Meets Minimum Requirements

Heating

Heating System Type: forced air furnace

Heating System Venting Type: induced draft

- 22. Heating Plant Viewed in Operation
M, Meets Minimum Requirements
- 23. Heating Plant & Installation
RRE, Repair/Replace: - Heat register on furnace ductwork blows directly across top of Water Heater-Missing air diverter at register
- 24. Heating Plant Combustion Venting
M, Meets Minimum Requirements
- 25. Incinerator / Abandoned Oil Tanks / Misc Gas Fixtures
NA, Not Applicable/Does Not Apply

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Heating (Living Room Gas Fireplace)

Heating System Type: other

Heating System Venting Type: induced draft

- 22. Heating Plant Viewed in Operation
M, Meets Minimum Requirements
- 23. Heating Plant & Installation
M, Meets Minimum Requirements
- 24. Heating Plant Combustion Venting
M, Meets Minimum Requirements
- 25. Incinerator / Abandoned Oil Tanks / Misc Gas Fixtures
NA, Not Applicable/Does Not Apply

Laundry

- 26. Gas Piping
M, Meets Minimum Requirements
- 27. Dryer Venting
M, Meets Minimum Requirements
- 28. Plumbing Fixtures
M, Meets Minimum Requirements

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Kitchen

- 29. Walls and Ceiling Components
M, Meets Minimum Requirements
- 30. Evidence of Dampness or Staining
C, No evidence of dampness and/or staining
- 31. Floor Condition
M, Meets Minimum Requirements
- 32. Window Size & Openable Area
M, Meets Minimum Requirements
- 33. Window & Door Condition/Mechanical Venting
M, Meets Minimum Requirements
- 34. Electrical Outlets/Fixtures
M, Meets Minimum Requirements
- 35. Plumbing Fixtures
M, Meets Minimum Requirements
- 36. Water Flow
M, Meets Minimum Requirements
- 37. Gas Piping
C, Gas line/valve not visible. - Unable to view gas line & anti-tip bracket at stove

Dining Room/Living Room

- 38. Walls and Ceiling Components
M, Meets Minimum Requirements
- 39. Evidence of Dampness or Staining
C, No evidence of dampness and/or staining.
- 40. Floor Area & Ceiling Height
M, Meets Minimum Requirements
- 41. Floor Condition
M, Meets Minimum Requirements
- 42. Window Size & Openable Area
M, Meets Minimum Requirements
- 43. Window & Door Condition
M, Meets Minimum Requirements
- 44. Electrical Outlets/Fixtures
SC, 3-Prong outlets not grounded

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Bathroom (Bsmt 3/4 Bath)

- 45. Walls & Ceiling Components
M, Meets Minimum Requirements
- 46. Evidence of Dampness or Staining
C, No evidence of dampness and/or staining.
- 47. Floor Condition
M, Meets Minimum Requirements
- 48. Window Size & Openable Area/Mechanical Vent
M, Meets Minimum Requirements
- 49. Window & Door Condition
M, Meets Minimum Requirements
- 50. Electrical Outlets & Fixtures
M, Meets Minimum Requirements
- 51. Plumbing Fixtures
M, Meets Minimum Requirements
- 52. Water Flow
M, Meets Minimum Requirements

Bathroom (2nd Floor Bath)

- 45. Walls & Ceiling Components
M, Meets Minimum Requirements
- 46. Evidence of Dampness or Staining
C, No evidence of dampness and/or staining.
- 47. Floor Condition
M, Meets Minimum Requirements
- 48. Window Size & Openable Area/Mechanical Vent
M, Meets Minimum Requirements
- 49. Window & Door Condition
M, Meets Minimum Requirements
- 50. Electrical Outlets & Fixtures
M, Meets Minimum Requirements
- 51. Plumbing Fixtures
M, Meets Minimum Requirements
- 52. Water Flow
M, Meets Minimum Requirements

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Hallways/Stairwells

53. Walls and Ceiling Components

M, Meets Minimum Requirements

54. Evidence of Dampness or Staining

C, No evidence of dampness and/or staining.

55. Floor Condition

M, Meets Minimum Requirements

56. Window & Door Condition

M, Meets Minimum Requirements

57. Electrical Outlets/Fixtures

M, Meets Minimum Requirements

58. Stairs and Railings

B, Handrail less than 30" - 34" in height or 34" - 38" ends returned. - 2nd Floor stairway railing lacks returned ends

59. Smoke Detectors /CO Detectors

M, Meets Minimum Requirements

Bedroom (Bsmt BR)

60. Walls and Ceiling Components

M, Meets Minimum Requirements

61. Evidence of Dampness or Staining

C, No evidence of dampness and/or staining.

62. Floor Area & Ceiling Height

M, Meets Minimum Requirements

63. Floor Condition

M, Meets Minimum Requirements

64. Window Size & Openable Area

M, Meets Minimum Requirements

65. Window & Door Condition

M, Meets Minimum Requirements

66. Electrical Outlets/Fixtures

M, Meets Minimum Requirements

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Bedroom (2nd Floor South BR)

60. Walls and Ceiling Components

M, Meets Minimum Requirements

61. Evidence of Dampness or Staining

C, No evidence of dampness and/or staining.

62. Floor Area & Ceiling Height

M, Meets Minimum Requirements

63. Floor Condition

M, Meets Minimum Requirements

64. Window Size & Openable Area

B, Existing windows do not meet current egress size. Windows are still code compliant if they've been replaced per MN Residential Code R310.1.5. - Less than 5 sq. ft. openings

65. Window & Door Condition

M, Meets Minimum Requirements

66. Electrical Outlets/Fixtures

SC, 3-Prong outlets not grounded - At West wall

SC, Loose outlet(s)/switches. - Loose outlet at west wall

Bedroom (2nd Floor North BR)

60. Walls and Ceiling Components

M, Meets Minimum Requirements

61. Evidence of Dampness or Staining

C, No evidence of dampness and/or staining.

62. Floor Area & Ceiling Height

M, Meets Minimum Requirements

63. Floor Condition

M, Meets Minimum Requirements

64. Window Size & Openable Area

B, Existing windows do not meet current egress size. Windows are still code compliant if they've been replaced per MN Residential Code R310.1.5. - Less than 5 sq. ft. openings

65. Window & Door Condition

M, Meets Minimum Requirements

66. Electrical Outlets/Fixtures

M, Meets Minimum Requirements

Porch/Sunroom/Other

Not Applicable

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Attic Space

Attic Type: kneewall

Attic Is Accessible?: yes

Attic Insulation Depth: 15 inches

Attic Insulation Type: Mineral Wool

Estimated Attic Insulated Sq Ft: 140

72. Roof Boards & Rafters / Ventilation

C, Limited view of attic areas. - Viewed SW kneewall attic only

C, Roof boards are concealed by insulation. - At SW kneewall attic

73. Evidence of Dampness or Staining

C, No evidence of dampness and/or staining.

74. Electrical Outlets & Fixtures

C, Other Comment: - Not viewed

75. Mechanical Venting

C, Other Comment: - Not viewed

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Exterior

Estimated number of single pane windows without storms: 0

- 76. Foundation
 - B, Cracked/damaged areas. - Some cracks
- 77. Basement Windows
 - M, Meets Minimum Requirements
- 78. Drainage (Grade) / Rainleaders
 - B, Incomplete gutter system. - No gutters
 - C, Snow covered in areas, can't fully view.
- 79. Exterior Walls
 - B, Siding/trim is weathered, flaking paint.
 - B, Below Minimum Requirements: - Some rotted wood trim at SW corner
- 80. Doors (frames/storms/screens/deadbolt locks)
 - M, Meets Minimum Requirements
- 81. Windows (frames/storms/screens)
 - M, Meets Minimum Requirements
- 82. Stoops
 - M, Meets Minimum Requirements
- 83. Cornice & Trim
 - M, Meets Minimum Requirements
- 84. Roof Covering & Flashing
 - C, Roof is snow/frost covered and not fully visible. Not evaluated.
- 85. Chimney
 - B, Missing rain cap.
- 86. Electrical Outlets/Fixtures
 - M, Meets Minimum Requirements
- 87. Exterior Plumbing-Backflow Prevention
 - M, Meets Minimum Requirements
- 88. Two-Family Dwelling Egress
 - NA, Not Applicable/Does Not Apply

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Open/Unheated Porch (Front Porch)

- 89. Floors
M, Meets Minimum Requirements
- 90. Walls
M, Meets Minimum Requirements
- 91. Roof/Ceiling
M, Meets Minimum Requirements
- 92. Doors/Screens/Windows
M, Meets Minimum Requirements
- 93. Electrical Outlets/Fixtures
SC, Suggested Correction: - Non grounded 3-prong outlet

Open/Unheated Porch (Rear Entry)

- 89. Floors
M, Meets Minimum Requirements
- 90. Walls
M, Meets Minimum Requirements
- 91. Roof/Ceiling
M, Meets Minimum Requirements
- 92. Doors/Screens/Windows
M, Meets Minimum Requirements
- 93. Electrical Outlets/Fixtures
M, Meets Minimum Requirements

Garage

- 94. Roof Structure & Covering
C, Garage roof is partly snow/frost covered and can not be fully viewed or evaluated.
- 95. Wall Structure & Covering
B, Weathered areas. - Some peeling paint
C, Damaged/cracked slab.
- 96. Garage Doors
B, Weathered/deteriorated overhead door(s).
- 97. Automatic Garage Door Opener
M, Meets Minimum Requirements
- 98. Electrical Outlets/Fixtures
M, Meets Minimum Requirements

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Miscellaneous

99. Clutter/Sanitation/Vermin

M, Meets Minimum Requirements

100. Other

NA, Not Applicable/Does Not Apply

Wall Insulation

Wall Insulation Depth: 4 inches

Wall Insulation Type: Mineral Wool

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Truth in Housing Repair Notification

City of Minneapolis - Truth in Sale of Housing
250 South 4th Street, Room 300
Minneapolis, MN 55415

Issued To:

Cym Warkov
1901 Talmage Ave SE
Mpls, MN 55414

2/1/2023

Owner does not have to complete repairs if the house is not sold.

Pursuant to Minneapolis Code of Ordinances, Sections 248.20 and 248.225, the owner may make the repairs. If the owner makes the repairs, a Certificate of Approval (needed for closing) will be issued after the repairs have been inspected and approved. The owner does not have to complete the repairs if the house does not sell. If the owner does not make the repairs, the buyer must sign an acknowledgement of responsibility form (provided by the City) and return it to the City. The buyer has 90 days from closing to complete the repairs. Your prompt cooperation in attending to the repair items is appreciated however, failure to comply by these deadlines may result in legal action.

REQUIRED REPAIRS

ID	Description	Area	Comment
10	Smoke Detectors / CO Detectors	Basement	Missing CO Detector - Missing CO detector within 10 ft. of Bsmt BR
10	Smoke Detectors / CO Detectors	Basement	Repair/Replace: - Missing smoke detector outside Bsmt BR
23	Heating Plant & Installation	Heating	Repair/Replace: - Heat register on furnace ductwork blows directly across top of Water Heater-Missing air diverter at register

SAFETY CHECKS

The systems listed below must be checked by a licensed contractor. The contractor must be licensed by the City of Minneapolis and/or the State of Minnesota in that specific trade to check the work. Return safety check forms to the address above or fax to (612) 673-2437. If "Evaluator Return" is indicated below, the evaluator may return to view the system that was not in operation at the time of the initial evaluation. The evaluator may find additional work is needed on the system.

If the system was repaired or replaced, only a licensed contractor (not the evaluator) can do the safety check. Permits may be needed.

NONE

PERMIT REQUIRED REPAIR

The permit must be pulled before scheduling. Call the inspector listed on the permit to set an appointment. You need to have the permit number to set the appointment. There will be a charge for the permit, which covers the inspection.

NONE

Reinspection Process

When all the items are completed they must be inspected and approved.

For items that need a permit:

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If your notification indicates PERMIT NEEDED, the permit(s) must be pulled and work completed BEFORE the re-inspection takes place. If you are a homeowner occupant of a single family house, you may obtain a permit, if you are not, you must hire a licensed contractor. Bring this notification with you when you apply for permits.

For items that do not need a permit:

Call the evaluator who did the initial TISH report to re-inspect all the non-permit items. The evaluator's name and phone number are on the bottom of page 1 of the report. There will be a charge for this inspection.

Appeal

This repair notice may be appealed. Section 248.150 of the Minneapolis Code of Ordinances provides that an appeal must be filed in writing within thirty (30) days of the date of this notice accompanied with a \$100 filing fee. If you wish to appeal this order, call (612) 673-5840 for an application.

Assistance

If you need financial assistance to complete these repairs, you may call the Center for Energy and Environment at 612-335-5884.

Energy Disclosure Report

Home Profile

Location:
1529 BROOK AVE SE
Minneapolis, MN 55414

Year built: 1921

House sq. ft.: 1,634

Number of stories: 1.5

Visit Date: 2/1/23

How it Works

The energy score for your home is similar to MPG for a car, but it evaluates the energy performance of the home. The higher the home scores, the lower your energy bills will be.

Improve your score by completing the energy improvements below. Homes with the highest scores typically sell for 2-6% more.**

When you are ready to begin, contact an Energy Advisor at 651-328-6225. They can answer questions and connect you to helpful resources.

Financing and rebates are available from the City of Minneapolis and CenterPoint Energy to help you complete these energy improvements.

Energy Score



Home Energy Summary

Your home is more energy efficient than most homes in Minneapolis, but there are still opportunities for improvement. Complete the cost-effective energy improvements on your report to improve the comfort of your home and increase its resale value. To learn more visit mncee.org/TISH or contact an Energy Advisor.

	Energy Improvements <i>(by priority)</i>	Improvement Points	Typical Cost	Utility Rebate	Yearly Bill Savings
Heating System	Upgrade your furnace when it's 20 years old	12	\$3,500– \$6,000	Up to \$500	\$150–\$300
Attic Insulation	Energy Badge earned! Your home has efficient attic insulation	_____	_____	_____	_____
Wall Insulation	Energy Badge earned! Your home has efficient wall insulation.	_____	_____	_____	_____
Storm Windows	All single-pane windows have storm windows.	_____	_____	_____	_____



Next Step:

Contact an Energy Advisor



Mike



Kat

651-328-6225 or
energydisclosure@mncee.org
mncee.org/TISH

An Energy Advisor can help:



Answer your questions



Connect you to financing and utility rebates



Refer you to trusted contractors

The energy advisor service is provided by CEE with funding from CenterPoint Energy.

Prioritized Energy Improvements

Current efficiency:
80-84%

Recommended efficiency:
96% or better

Heating System

12 improvement points

When it's time to replace your furnace, choose a model that has an efficiency (AFUE) of at least 96% and an electronically commutated motor (ECM). Furnaces typically have a 20 year life. When your furnace is approaching this age, replace it before it stops working. When you replace it, contact an Energy Advisor for guidance. They'll ensure you upgrade to a modernized heating system that properly removes combustion gases and maximizes your energy savings.

Typical Cost:*

\$3,500-\$6,000

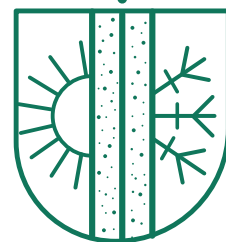
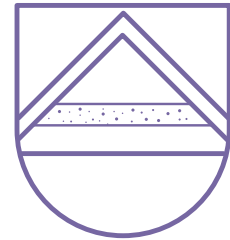
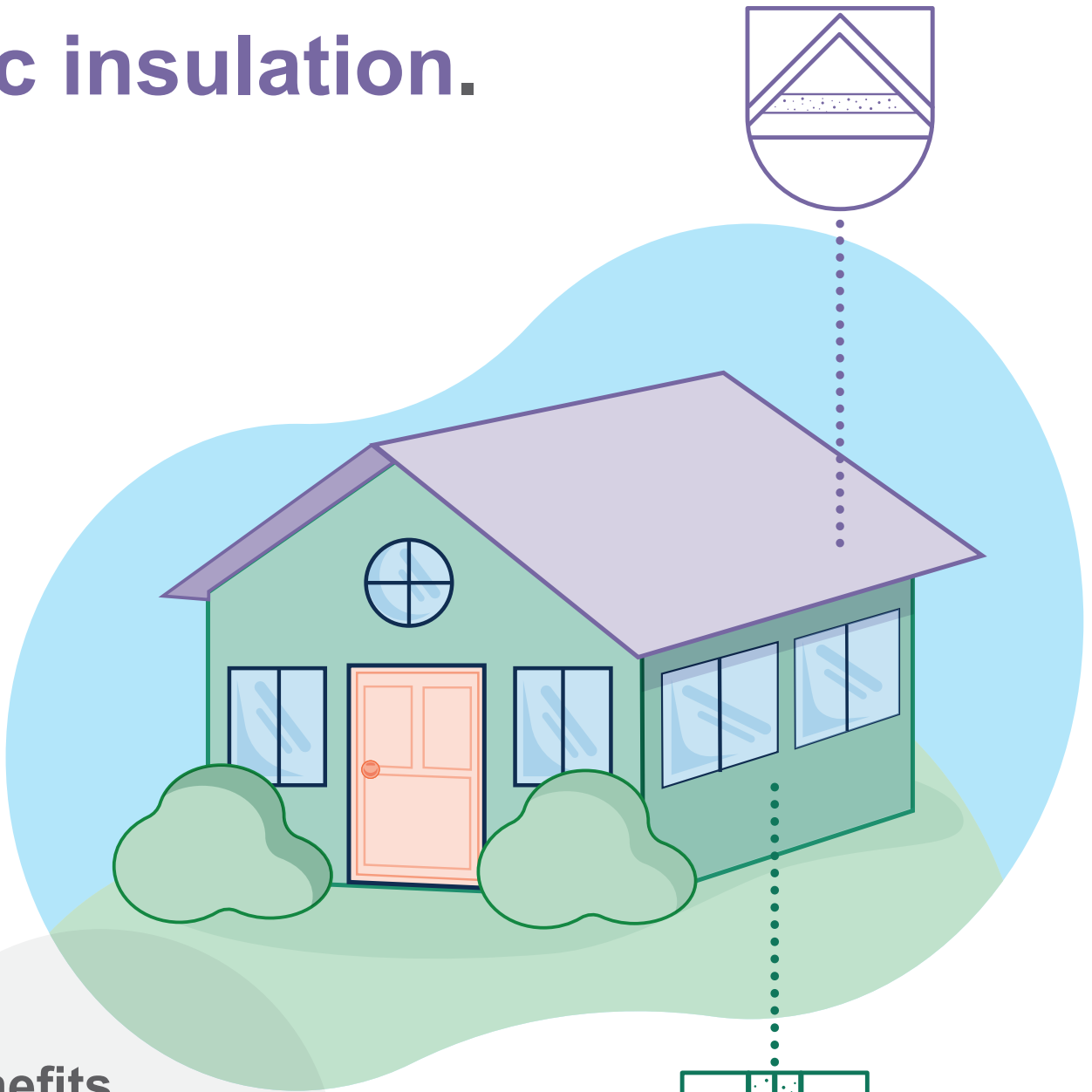
Yearly Bill Savings:*

\$150-\$300

Rebate Available:

Up to \$500

This home has energy efficient **wall insulation &** **attic insulation.**



Benefits

- Better comfort
- Lower energy bills
- Improved home durability



This home has energy efficient **wall** and **attic** insulation.

The energy inspection of this home found efficient levels of wall and attic insulation. The benefits include:

Better comfort — efficient wall and attic insulation help homes stay warmer in the winter and cooler in the summer.

Lower energy bills — efficient wall and attic insulation save up to \$700 a year on heating and cooling.

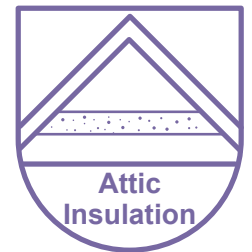
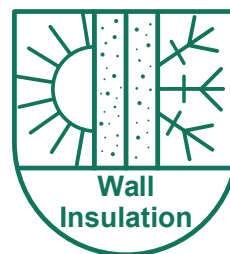
Improved home durability — efficient wall and attic insulation provide the best prevention against ice dams.

For more information visit mncee.org/tish.

Curious about additional ways to save energy in your home? Contact an Energy Advisor today.

651-328-6225 or energydisclosure@mncee.org

Energy Badge Earned



Energy Badges are delivered by Center For Energy And Environment, a local energy nonprofit.