

Truth in Sale of Housing Disclosure Report

NOTICE - Read Entire Report Carefully. This is not a rental license inspection or a buyer's inspection!

Address: 1041 15TH AVE SE Minneapolis, MN



Current Owner Name: Roman Gadaskin

Contact: Roman Gadaskin

Owner Address: 1041 15TH AVE SE
Minneapolis, MN 55414

Business/Relationship:

Phone Number: 612-708-0529

***** SEE ATTACHED PAGES FOR IMPORTANT CONSUMER INFORMATION *****

Observed Number of Units: 2

City Reference as: 2

Building Type: Duplex/Multiplex

Zoning: R1A

To verify this structure complies with the current Zoning ordinance, please contact Zoning Administration via 311.

Housing Orders: Yes

Condemnation Status: NA

Reason: NA

1. This report offers a limited overview of the building components and fixtures and is not technically extensive. Prospective buyers may want to seek additional opinions from various experts in the inspections field prior to purchase. This report is not a warranty or guarantee, expressed or implied, by the City of Minneapolis or by the evaluator or of any building component or fixture. Further, the buyer may want to seek additional information regarding any open permits. For 1st time condominium units, this report includes only those items located within the residential units. The Professional Opinion covers those items in the common areas of the building.
2. The buyer must repair all items marked Repair/Replace, unless the seller agrees to do the repairs. The seller is not required to complete the RR's if the property does not sell. All required R.R.'s items are enforceable by Minneapolis Ordinance Chapter 248 and/or 250. All other items will not be used by the Inspections Division as a basis for enforcing Minneapolis ordinances.
3. The ordinance requires that no person shall exhibit or show a dwelling for sale without first having obtained an official Evaluation Report and places the responsibility on the seller or agent to make sure that this report (and in the case of 1st time condo conversions, the Professional Opinion,) is publicly displayed on the premises at all times when the house is shown to prospective buyers. The seller or agent must give a copy of this report (and Professional Opinion for 1st time condo conversions) to the buyer prior to the signing of a Purchase Agreement, or as otherwise required in Minneapolis Ordinance Chapter 248 and/or 250.
4. This report covers only those items listed on the form. The evaluator is not required to ignite the heating plant, use a ladder to observe the condition of the roofing, evaluate inaccessible or concealed areas or disassemble items. This report does not address formaldehyde, lead paint, any airborne gasses (including radon), asbestos, wood stoves, fireplaces or air conditioners. Gas inserts in fireplaces WILL be evaluated.
5. This report is not an FHA, VA or Section 8 inspection. This report is not a code compliance inspection. It is not an appraisal. This report may be based upon different standards than the lender, FHA or VA. This is not a rental inspection. If planning to rent, additional requirements may apply and a license will be required.
6. The seller is required to provide the disclosure information in the box above. If this is not filled out, buyers are advised to request the seller to do so.
7. This report is valid for two years from the date of issue or one sale and only for the owner named on the report. It is required for all single-family homes, duplexes, townhouses or 1st time condominium conversions offered for sale.
8. **Any questions** regarding this report should be directed to the evaluator whose name and phone number appear below. **Any complaints** regarding this report should be directed to Truth in Housing at (612) 673-5840, Construction Code Services, 250 South 4th Street #300, Minneapolis, MN 55415.

I hereby certify that this report is made in compliance with the Minneapolis Code of Ordinances, Chapter 248, and that I utilized care and diligence reasonable and ordinary for one meeting the Certification Standards. The report covers only those problems listed and reasonably visible at the time of my evaluation and does not warrant future useful life of any house component or fixture. I have included all required information pages with this report.

Evaluator Name: Luis Alcaraz

Phone: 612-743-8228

Evaluation Date: 5/12/2021

Signature: *Luis Alcaraz*

Evaluation #: 20212934

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EVALUATION CODES:

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RRE :=Repair/Replace, Evaluator Verification Required **RRP** :=Repair/Replace, Permit/City Inspector Required **LIC** :=Safety Check, Licensed Contractor Required

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Unit lower

Basement

1. Basement Stairs/Railings
 - B, Uneven riser heights.
 - B, Stairway width is less than 30".
 - B, Stairway headroom is less than 6' 8".
2. Basement Floors
 - M, Meets Minimum Requirements
3. Foundation Walls
 - C, Other Comment: - Finished areas, not visible or evaluated
4. Evidence of Dampness or Staining
 - C, Evidence of past dampness and/or staining. - Dirt/soot behind panel by gas meter
5. First Floor, Floor System
 - B, Damaged/deteriorated floor board(s).
6. Columns & Beams
 - SC, Temporary adjustable post(s) used in lieu of permanent support.
7. Basement Sleeping Rooms
 - C, Yes, there are basement bedrooms. See Bedroom Section for details.
8. Basement Plumbing Fixtures
 - M, Meets Minimum Requirements
9. Sump Pumps
 - M, Meets Minimum Requirements
10. Smoke Detectors / CO Detectors
 - M, Meets Minimum Requirements
11. Basement Electrical Outlets/Fixtures
 - M, Meets Minimum Requirements

Electric

Amps: 200

Volts: 120/240

12. Electrical service installation
 - M, Meets Minimum Requirements
13. Separate 20-amp Kitchen Circuit indexed at Service Panel
 - M, Meets Minimum Requirements
14. Separate 20-amp Laundry Circuit indexed at Service Panel
 - M, Meets Minimum Requirements

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Plumbing

- 15. Floor Drains
M, Meets Minimum Requirements
- 16. Drain, Waste & Vent Piping
M, Meets Minimum Requirements
- 17. Water Supply Piping
M, Meets Minimum Requirements
- 18. Gas Piping
M, Meets Minimum Requirements
- 19. Copper Water Line Visible on the Street Side of Water Meter
M, Meets Minimum Requirements

Water heater

- 20. Water Heater & Installation
C, Other Comment: - 2 water heaters
- 21. Water Heater Venting
M, Meets Minimum Requirements

Heating

Heating System Type: pumped boiler

Heating System Venting Type: induced draft

- 22. Heating Plant Viewed in Operation
M, Meets Minimum Requirements
- 23. Heating Plant & Installation
B, Dirty furnace/heating plant.
- 24. Heating Plant Combustion Venting
M, Meets Minimum Requirements
- 25. Incinerator / Abandoned Oil Tanks / Misc Gas Fixtures
M, Meets Minimum Requirements

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Heating

Heating System Type: electric other

Heating System Venting Type: na

- 22. Heating Plant Viewed in Operation
M, Meets Minimum Requirements
- 23. Heating Plant & Installation
M, Meets Minimum Requirements
- 24. Heating Plant Combustion Venting
M, Meets Minimum Requirements
- 25. Incinerator / Abandoned Oil Tanks / Misc Gas Fixtures
M, Meets Minimum Requirements

Laundry

- 26. Gas Piping
C, Limited view of gas piping at appliance, can't fully evaluate.
- 27. Dryer Venting
M, Meets Minimum Requirements
- 28. Plumbing Fixtures
B, Below Minimum Requirements: - Loose laundry tub

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Kitchen

- 29. Walls and Ceiling Components
M, Meets Minimum Requirements
- 30. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 31. Floor Condition
M, Meets Minimum Requirements
- 32. Window Size & Openable Area
M, Meets Minimum Requirements
- 33. Window & Door Condition/Mechanical Venting
M, Meets Minimum Requirements
- 34. Electrical Outlets/Fixtures
B, Below Minimum Requirements: - NM wiring not properly protected under the sink
- 35. Plumbing Fixtures
M, Meets Minimum Requirements
- 36. Water Flow
M, Meets Minimum Requirements
- 37. Gas Piping
M, Meets Minimum Requirements

Dining Room/Living Room

- 38. Walls and Ceiling Components
C, Other Comment: - cracks on ceiling
- 39. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 40. Floor Area & Ceiling Height
M, Meets Minimum Requirements
- 41. Floor Condition
M, Meets Minimum Requirements
- 42. Window Size & Openable Area
M, Meets Minimum Requirements
- 43. Window & Door Condition
B, Weathered/deteriorated windows.
- 44. Electrical Outlets/Fixtures
C, Limited view due to stored items or furnishings.

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Bathroom (Basement)

- 45. Walls & Ceiling Components
M, Meets Minimum Requirements
- 46. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 47. Floor Condition
M, Meets Minimum Requirements
- 48. Window Size & Openable Area/Mechanical Vent
M, Meets Minimum Requirements
- 49. Window & Door Condition
M, Meets Minimum Requirements
- 50. Electrical Outlets & Fixtures
M, Meets Minimum Requirements
- 51. Plumbing Fixtures
M, Meets Minimum Requirements
- 52. Water Flow
M, Meets Minimum Requirements

Bathroom (Main level)

- 45. Walls & Ceiling Components
M, Meets Minimum Requirements
- 46. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 47. Floor Condition
M, Meets Minimum Requirements
- 48. Window Size & Openable Area/Mechanical Vent
M, Meets Minimum Requirements
- 49. Window & Door Condition
M, Meets Minimum Requirements
- 50. Electrical Outlets & Fixtures
M, Meets Minimum Requirements
- 51. Plumbing Fixtures
C, Can't evaluate toilet - shelf in way/on top of tank.
- 52. Water Flow
M, Meets Minimum Requirements

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Hallways/Stairwells

- 53. Walls and Ceiling Components
M, Meets Minimum Requirements
- 54. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 55. Floor Condition
M, Meets Minimum Requirements
- 56. Window & Door Condition
M, Meets Minimum Requirements
- 57. Electrical Outlets/Fixtures
M, Meets Minimum Requirements
- 58. Stairs and Railings
M, Meets Minimum Requirements
- 59. Smoke Detectors /CO Detectors
M, Meets Minimum Requirements

Bedroom (Basement (N))

- 60. Walls and Ceiling Components
M, Meets Minimum Requirements
- 61. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 62. Floor Area & Ceiling Height
M, Meets Minimum Requirements
- 63. Floor Condition
M, Meets Minimum Requirements
- 64. Window Size & Openable Area
M, Meets Minimum Requirements
- 65. Window & Door Condition
M, Meets Minimum Requirements
- 66. Electrical Outlets/Fixtures
C, Limited view due to stored items.

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Bedroom (Basement (S))

- 60. Walls and Ceiling Components
M, Meets Minimum Requirements
- 61. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 62. Floor Area & Ceiling Height
M, Meets Minimum Requirements
- 63. Floor Condition
M, Meets Minimum Requirements
- 64. Window Size & Openable Area
M, Meets Minimum Requirements
- 65. Window & Door Condition
M, Meets Minimum Requirements
- 66. Electrical Outlets/Fixtures
C, Limited view due to stored items.

Bedroom (Main level)

- 60. Walls and Ceiling Components
C, Other Comment: - cracks on ceiling
- 61. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 62. Floor Area & Ceiling Height
M, Meets Minimum Requirements
- 63. Floor Condition
M, Meets Minimum Requirements
- 64. Window Size & Openable Area
M, Meets Minimum Requirements
- 65. Window & Door Condition
M, Meets Minimum Requirements
- 66. Electrical Outlets/Fixtures
C, Limited view due to stored items.

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Porch/Sunroom/Other (Front)

- 67. Walls and Ceiling Components
M, Meets Minimum Requirements
- 68. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 69. Floor Condition, Area & Ceiling Height
M, Meets Minimum Requirements
- 70. Window & Door Condition
M, Meets Minimum Requirements
- 71. Electrical Outlets/Fixtures
M, Meets Minimum Requirements

Porch/Sunroom/Other (Rear)

- 67. Walls and Ceiling Components
M, Meets Minimum Requirements
- 68. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 69. Floor Condition, Area & Ceiling Height
M, Meets Minimum Requirements
- 70. Window & Door Condition
M, Meets Minimum Requirements
- 71. Electrical Outlets/Fixtures
M, Meets Minimum Requirements

Porch/Sunroom/Other (Main level (S))

- 67. Walls and Ceiling Components
B, Damaged/broken plaster.
B, Damaged areas.
- 68. Evidence of Dampness or Staining
C, Evidence of dampness and/or staining.
- 69. Floor Condition, Area & Ceiling Height
C, Not visible due to stored items.
- 70. Window & Door Condition
M, Meets Minimum Requirements
- 71. Electrical Outlets/Fixtures
M, Meets Minimum Requirements

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Attic Space

Attic Type: peak

Attic Is Accessible?: yes

Attic Insulation Depth: 8 inches

Attic Insulation Type: Cellulose

Estimated Attic Insulated Sq Ft: 1500

72. Roof Boards & Rafters / Ventilation

C, Limited view of attic areas.

73. Evidence of Dampness or Staining

C, There is evidence of past dampness or staining in the attic on roof boards and rafters.

74. Electrical Outlets & Fixtures

M, Meets Minimum Requirements

75. Mechanical Venting

M, Meets Minimum Requirements

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Exterior

Estimated number of single pane windows without storms: 0

76. Foundation

B, Damaged/missing mortar.

B, Cracked/damaged areas.

77. Basement Windows

B, Boarded up window(s).

78. Drainage (Grade) / Rainleaders

B, Grade in areas does not allow surface water to drain away from building.

B, Walks settled in areas.

B, Damaged/cracked sidewalk(s).

79. Exterior Walls

M, Meets Minimum Requirements

80. Doors (frames/storms/screens/deadbolt locks)

M, Meets Minimum Requirements

81. Windows (frames/storms/screens)

B, Missing/damaged window components.

B, Weathered/deteriorated windows.

82. Stoops

M, Meets Minimum Requirements

83. Cornice & Trim

B, Peeling paint.

B, Weathered in areas.

84. Roof Covering & Flashing

C, Portions of roof are not visible.

85. Chimney

B, Damaged/missing bricks and mortar.

B, Improper rain cap on chimney. - missing

86. Electrical Outlets/Fixtures

SC, Loose/missing exterior outlet cover.

87. Exterior Plumbing-Backflow Prevention

M, Meets Minimum Requirements

88. Two-Family Dwelling Egress

M, Meets Minimum Requirements

Open/Unheated Porch

Not Applicable

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Garage

- 94. Roof Structure & Covering
 - C, Sag in roof.
 - B, Below Minimum Requirements: - Cut collar ties
- 95. Wall Structure & Covering
 - C, Can not fully evaluate due to stored items.
- 96. Garage Doors
 - M, Meets Minimum Requirements
- 97. Automatic Garage Door Opener
 - C, Opener not tested. - due to stored items
- 98. Electrical Outlets/Fixtures
 - M, Meets Minimum Requirements

Miscellaneous

- 99. Clutter/Sanitation/Vermin
 - SC, Excessive amount of stored items.
- 100. Other
 - M, Meets Minimum Requirements

Wall Insulation

- Wall Insulation Depth:** 3 inches
- Wall Insulation Type:** Cellulose

Unit upper

Basement

Not Applicable

Electric

Not Applicable

Plumbing

Not Applicable

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Water heater

Not Applicable

Heating

Heating System Type: electric other

Heating System Venting Type: na

- 22. Heating Plant Viewed in Operation
M, Meets Minimum Requirements
- 23. Heating Plant & Installation
M, Meets Minimum Requirements
- 24. Heating Plant Combustion Venting
M, Meets Minimum Requirements
- 25. Incinerator / Abandoned Oil Tanks / Misc Gas Fixtures
M, Meets Minimum Requirements

Laundry

- 26. Gas Piping
C, Limited view of gas piping at appliance, can't fully evaluate.
- 27. Dryer Venting
M, Meets Minimum Requirements
- 28. Plumbing Fixtures
M, Meets Minimum Requirements

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Kitchen (Upper level)

- 29. Walls and Ceiling Components
M, Meets Minimum Requirements
- 30. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 31. Floor Condition
M, Meets Minimum Requirements
- 32. Window Size & Openable Area
M, Meets Minimum Requirements
- 33. Window & Door Condition/Mechanical Venting
M, Meets Minimum Requirements
- 34. Electrical Outlets/Fixtures
M, Meets Minimum Requirements
- 35. Plumbing Fixtures
M, Meets Minimum Requirements
- 36. Water Flow
M, Meets Minimum Requirements
- 37. Gas Piping
C, Gas piping not visible.

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Kitchen (Attic)

- 29. Walls and Ceiling Components
M, Meets Minimum Requirements
- 30. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 31. Floor Condition
M, Meets Minimum Requirements
- 32. Window Size & Openable Area
M, Meets Minimum Requirements
- 33. Window & Door Condition/Mechanical Venting
M, Meets Minimum Requirements
- 34. Electrical Outlets/Fixtures
M, Meets Minimum Requirements
- 35. Plumbing Fixtures
M, Meets Minimum Requirements
- 36. Water Flow
M, Meets Minimum Requirements
- 37. Gas Piping
C, Gas piping not visible.

Dining Room/Living Room

- 38. Walls and Ceiling Components
M, Meets Minimum Requirements
- 39. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 40. Floor Area & Ceiling Height
M, Meets Minimum Requirements
- 41. Floor Condition
M, Meets Minimum Requirements
- 42. Window Size & Openable Area
M, Meets Minimum Requirements
- 43. Window & Door Condition
M, Meets Minimum Requirements
- 44. Electrical Outlets/Fixtures
C, Limited view due to stored items or furnishings.

Truth in Sale of Housing Disclosure Report

Address: 1041 15TH AVE SE Minneapolis, MN



EVALUATION CODES:

M :=Meets Minimum Requirements **C** :=Comments **NA** :=Not Applicable/Does Not Apply **B** :=Below Minimum Requirements **SC** :=Suggested Correction
RRE :=Repair/Replace, Evaluator Verification Required **RRP** :=Repair/Replace, Permit/City Inspector Required **LIC** :=Safety Check, Licensed Contractor Required

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Bathroom (Upper level)

- 45. Walls & Ceiling Components
M, Meets Minimum Requirements
- 46. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 47. Floor Condition
M, Meets Minimum Requirements
- 48. Window Size & Openable Area/Mechanical Vent
M, Meets Minimum Requirements
- 49. Window & Door Condition
M, Meets Minimum Requirements
- 50. Electrical Outlets & Fixtures
M, Meets Minimum Requirements
- 51. Plumbing Fixtures
M, Meets Minimum Requirements
- 52. Water Flow
M, Meets Minimum Requirements

Bathroom (Attic)

- 45. Walls & Ceiling Components
M, Meets Minimum Requirements
- 46. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 47. Floor Condition
M, Meets Minimum Requirements
- 48. Window Size & Openable Area/Mechanical Vent
M, Meets Minimum Requirements
- 49. Window & Door Condition
M, Meets Minimum Requirements
- 50. Electrical Outlets & Fixtures
M, Meets Minimum Requirements
- 51. Plumbing Fixtures
M, Meets Minimum Requirements
- 52. Water Flow
M, Meets Minimum Requirements

Truth in Sale of Housing Disclosure Report

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Hallways/Stairwells

- 53. Walls and Ceiling Components
M, Meets Minimum Requirements
- 54. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 55. Floor Condition
M, Meets Minimum Requirements
- 56. Window & Door Condition
M, Meets Minimum Requirements
- 57. Electrical Outlets/Fixtures
M, Meets Minimum Requirements
- 58. Stairs and Railings
M, Meets Minimum Requirements
- 59. Smoke Detectors /CO Detectors
M, Meets Minimum Requirements

Bedroom (Upper level (N))

- 60. Walls and Ceiling Components
M, Meets Minimum Requirements
- 61. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 62. Floor Area & Ceiling Height
M, Meets Minimum Requirements
- 63. Floor Condition
M, Meets Minimum Requirements
- 64. Window Size & Openable Area
M, Meets Minimum Requirements
- 65. Window & Door Condition
B, Weathered/deteriorated windows.
- 66. Electrical Outlets/Fixtures
C, Limited view due to stored items.

Truth in Sale of Housing Disclosure Report

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Bedroom (Upper level (S))

- 60. Walls and Ceiling Components
M, Meets Minimum Requirements
- 61. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 62. Floor Area & Ceiling Height
M, Meets Minimum Requirements
- 63. Floor Condition
M, Meets Minimum Requirements
- 64. Window Size & Openable Area
M, Meets Minimum Requirements
- 65. Window & Door Condition
B, Weathered/deteriorated windows.
- 66. Electrical Outlets/Fixtures
C, Limited view due to stored items.

Bedroom (Upper level (W))

- 60. Walls and Ceiling Components
M, Meets Minimum Requirements
- 61. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 62. Floor Area & Ceiling Height
M, Meets Minimum Requirements
- 63. Floor Condition
M, Meets Minimum Requirements
- 64. Window Size & Openable Area
M, Meets Minimum Requirements
- 65. Window & Door Condition
B, Weathered/deteriorated windows.
- 66. Electrical Outlets/Fixtures
C, Limited view due to stored items.

Truth in Sale of Housing Disclosure Report

Address: 1041 15TH AVE SE Minneapolis, MN



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Bedroom (Attic)

- 60. Walls and Ceiling Components
M, Meets Minimum Requirements
- 61. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 62. Floor Area & Ceiling Height
M, Meets Minimum Requirements
- 63. Floor Condition
M, Meets Minimum Requirements
- 64. Window Size & Openable Area
M, Meets Minimum Requirements
- 65. Window & Door Condition
B, Weathered/deteriorated windows.
- 66. Electrical Outlets/Fixtures
C, Limited view due to stored items.

Porch/Sunroom/Other

- 67. Walls and Ceiling Components
M, Meets Minimum Requirements
- 68. Evidence of Dampness or Staining
M, Meets Minimum Requirements
- 69. Floor Condition, Area & Ceiling Height
M, Meets Minimum Requirements
- 70. Window & Door Condition
M, Meets Minimum Requirements
- 71. Electrical Outlets/Fixtures
M, Meets Minimum Requirements

Attic Space

Not Applicable

Exterior

Not Applicable

Open/Unheated Porch

Not Applicable

Truth in Sale of Housing Disclosure Report

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Garage

Not Applicable

Miscellaneous

99. Clutter/Sanitation/Vermin

SC, Excessive amount of stored items.

100. Other

M, Meets Minimum Requirements

Wall Insulation

Not Applicable

Truth in Sale of Housing Disclosure Report

Address: 1041 15TH AVE SE Minneapolis, MN



Truth in Housing Repair Notification

City of Minneapolis - Truth in Sale of Housing
250 South 4th Street, Room 300
Minneapolis, MN 55415

Issued To:

Roman Gadaskin
1041 15TH AVE SE
Minneapolis, MN 55414

5/12/2021

Owner does not have to complete repairs if the house is not sold.

Pursuant to Minneapolis Code of Ordinances, Sections 248.20 and 248.225, the owner may make the repairs. If the owner makes the repairs, a Certificate of Approval (needed for closing) will be issued after the repairs have been inspected and approved. The owner does not have to complete the repairs if the house does not sell. If the owner does not make the repairs, the buyer must sign an acknowledgement of responsibility form (provided by the City) and return it to the City. The buyer has 90 days from closing to complete the repairs. Your prompt cooperation in attending to the repair items is appreciated however, failure to comply by these deadlines may result in legal action.

REQUIRED REPAIRS

NONE

SAFETY CHECKS

The systems listed below must be checked by a licensed contractor. The contractor must be licensed by the City of Minneapolis and/or the State of Minnesota in that specific trade to check the work. Return safety check forms to the address above or fax to (612) 673-2437. If "Evaluator Return" is indicated below, the evaluator may return to view the system that was not in operation at the time of the initial evaluation. The evaluator may find additional work is needed on the system.

If the system was repaired or replaced, only a licensed contractor (not the evaluator) can do the safety check. Permits may be needed.

NONE

PERMIT REQUIRED REPAIR

The permit must be pulled before scheduling. Call the inspector listed on the permit to set an appointment. You need to have the permit number to set the appointment. There will be a charge for the permit, which covers the inspection.

NONE

Reinspection Process

When all the items are completed they must be inspected and approved.

For items that need a permit:

If your notification indicates PERMIT NEEDED, the permit(s) must be pulled and work completed BEFORE the re-inspection takes place. If you are a homeowner occupant of a single family house, you may obtain a permit, if you are not, you must hire a licensed contractor. Bring this notification with you when you apply for permits.

For items that do not need a permit:

Call the evaluator who did the initial TISH report to re-inspect all the non-permit items. The evaluator's name and phone number are on the bottom of page 1 of the report. There will be a charge for this inspection.

Truth in Sale of Housing Disclosure Report

Address: 1041 15TH AVE SE Minneapolis, MN



Appeal

This repair notice may be appealed. Section 248.150 of the Minneapolis Code of Ordinances provides that an appeal must be filed in writing within thirty (30) days of the date of this notice accompanied with a \$100 filing fee. If you wish to appeal this order, call (612) 673-5840 for an application.

Assistance

If you need financial assistance to complete these repairs, you may call the Center for Energy and Environment at 612-335-5884.

Energy Disclosure Report

Home Profile

Location:
1041 15TH AVE SE
Minneapolis, MN 55414

Year built: 1906

House sq. ft.: 3,823

Number of stories: 2.5

Visit Date: 5/12/21

How it Works

The energy score for your home is similar to MPG for a car, but it evaluates the energy performance of the home. The higher the home scores, the lower your energy bills will be.

Improve your score by completing the energy improvements below. Homes with the highest scores typically sell for 2-6% more.**

When you are ready to begin, contact an Energy Advisor at 651-328-6225. They can answer questions and connect you to helpful resources.

Financing and rebates are available from the City of Minneapolis and CenterPoint Energy to help you complete these energy improvements.

Energy Score



Home Energy Summary

You are on your way to an energy efficient home, but you are not there yet. You still have opportunities for cost-effective energy improvements that will lower your energy bills and make your home more comfortable. To learn more visit mncee.org/TISH or contact an Energy Advisor.

	Energy Improvements <i>(by priority)</i>	Improvement Points	Typical Cost	Utility Rebate	Yearly Bill Savings
Heating System	Upgrade your boiler	12	\$6,000– \$8,000	Up to \$400	\$150–\$300
Attic Insulation	Air seal and insulate your attic	6	\$3,000– \$3,650	Up to \$500	\$150–\$300
Wall Insulation	Energy Badge earned! Your home has efficient wall insulation.	2	_____	_____	_____
Storm Windows	All single-pane windows have storm windows.	_____	_____	_____	_____



Next Step:

Contact an Energy Advisor



Mike



Kat

651-328-6225 or
energydisclosure@mncee.org
mncee.org/TISH

An Energy Advisor can help:



Answer your questions



Connect you to financing and utility rebates



Refer you to trusted contractors

The energy advisor service is provided by CEE with funding from CenterPoint Energy.

Prioritized Energy Improvements

Current efficiency:
80-84%

Recommended efficiency:
91% or better

Heating System

12 improvement points

Upgrade your boiler. Your boiler is at the end of its useful life. Additionally, its induced draft system makes it possible for gases like carbon monoxide to spill back into your home, posing a potential risk to your indoor air quality and health. The best solution is to replace your boiler with a model that has an efficiency (AFUE) of at least 91%. This will modernize your heating system, properly remove combusted gases from your home, and maximize your energy savings.

Typical Cost:*
\$6,000–\$8,000

Yearly Bill Savings:*
\$150–\$300

Rebate Available:
Up to \$400

Current attic insulation depth:
8 inches

Recommended attic insulation depth: 16 inches

Attic Insulation

6 improvement points

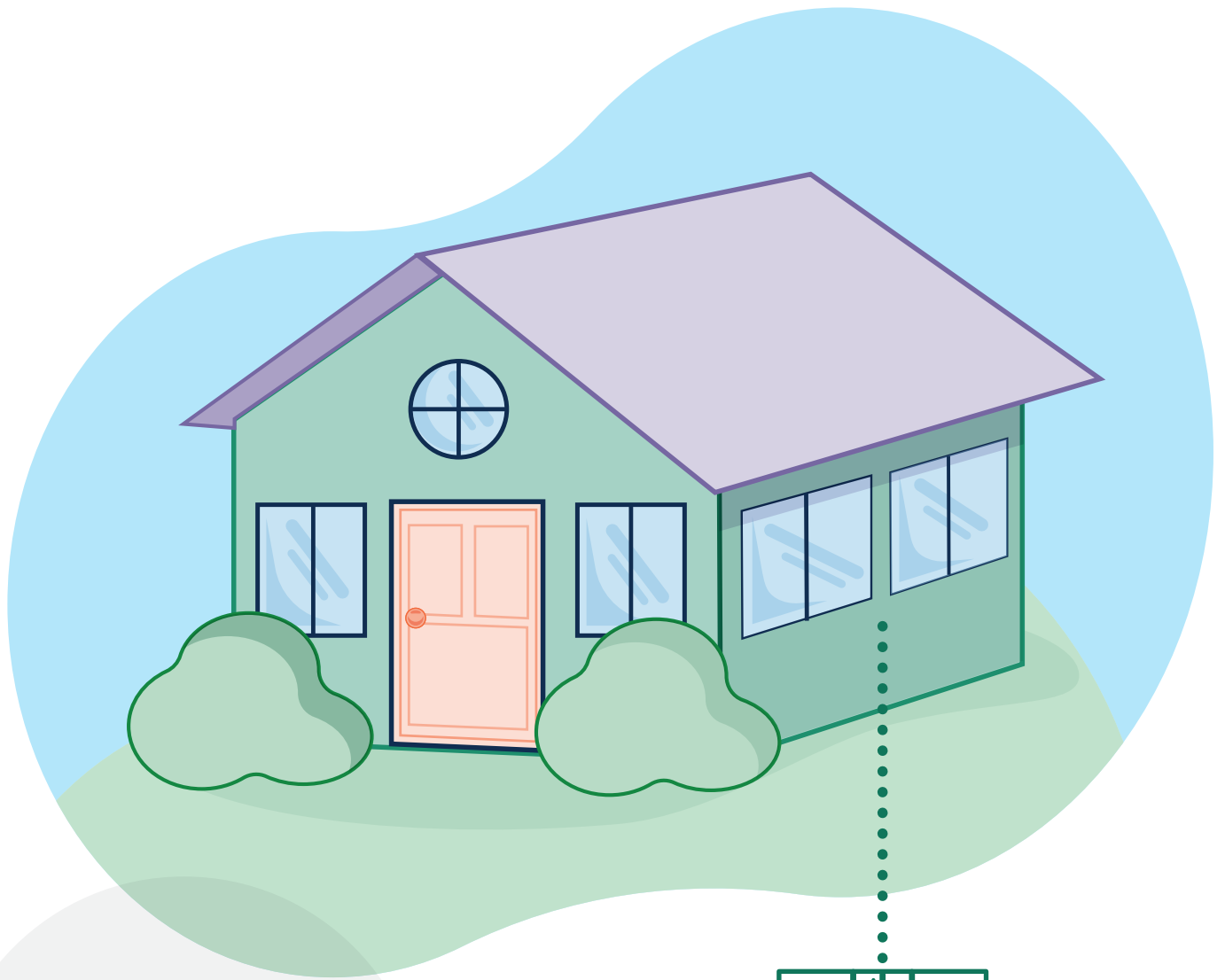
Air seal and insulate your attic to improve the comfort of your home. Air leaks allow air from inside your house to enter the attic, potentially causing comfort issues, ice dams and moisture issues. This can be especially true with half story homes like yours. Sealing these leaks and adding insulation will improve your home's durability and save energy. Contact an Energy Advisor to learn more and get help with next steps.

Typical Cost:*
\$3,000–\$3,650

Yearly Bill Savings:*
\$150–\$300

Rebate Available:
Up to \$500

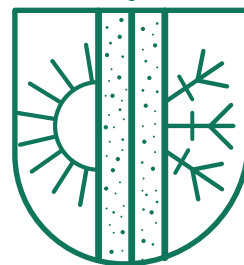
This home has energy efficient wall insulation.



Benefits

Better comfort

Lower energy bills



cee

Center for Energy and Environment

mncee.org/tish



This home has energy efficient **wall insulation**.

The energy inspection of this home found efficient levels of wall insulation. The benefits include:

Better comfort — efficient wall insulation helps homes stay warmer in the winter and cooler in the summer.

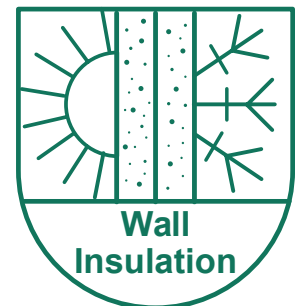
Lower energy bills — efficient wall insulation saves up to \$400 a year on heating and cooling.

For more information visit mncee.org/tish.

Curious about additional ways to save energy in your home?
Contact an Energy Advisor today.

651-328-6225 or energydisclosure@mncee.org

Energy Badge Earned



Energy Badges are delivered by Center For Energy And Environment, a local energy nonprofit.